

Policy Number:	LPP6
Policy Type:	Local Planning Policy
Policy Name:	Nannup Townsite Character Area Design Guidelines
Policy Owner:	Chief Executive Officer

Authority: Shire of Nannup Local Planning Scheme No. 4

POLICY BASIS

This is a local planning policy prepared under the *Planning and Development (Local Planning Schemes) Regulations 2015* (the Regulations) and the *Shire of Nannup Local Planning Scheme No. 4* (LPS4).

OBJECTIVES

The objectives of this Policy are to:

1. Retain Nannup's unique character and sense of place.
2. Provide a high level of amenity.
3. Create an attractive and desirable environment.
4. Require development to address the garden village and non-metropolitan context, topography, landscape values and the area's character and heritage.
5. Avoid replication of standard metropolitan building designs and promote sustainability principles in dwelling design.
6. Provide the basis for consistent assessment and decision making.

DEFINITIONS

Definitions in this Policy are as per LPS4 or *State Planning Policy 7.3 Residential Design Codes* (R-Codes). The following additional terms are defined as follows:

"Barn-Style Dwellings" means dwellings that have design features that resemble outbuildings or barns which normally consist of external metal cladding of walls and roof.

"Building Materials" means the materials which constitute the structure, dwelling or building.

"Eaves" refers to the projecting overhang at the lower edge of the roof.

"Transportable building" means any building or structure which:

- is designed and constructed to be transported in one or more parts from its place of construction to its intended location; or
- has previously been located on another site other than on the lot upon which it is to be placed, and includes a skid mounted transportable unit (sea container), donga and light weight pre- fabricated building.

In this Policy, **"dwelling"** also includes a single house, grouped dwelling, multiple dwelling, ancillary dwelling, short-term accommodation and other form of habitable structure.

APPLICATION OF THE POLICY

This Policy applies to new dwellings and other forms of habitable structures (for permanent or short-term accommodation purposes), extensions to dwellings, front fencing, retaining walls, incidental structures and non-residential development within the Nannup Townsite Character Area (see Attachment 1). This relates to Special Control Area 2 (SCA2) in LPS4.

The Policy includes dwellings and structures that are built on site, newly-constructed prefabricated buildings i.e. has been built off-site but not used as a dwelling elsewhere, and second-hand buildings and dwellings.

The provisions of this Local Planning Policy apply to all development and/or use of premises in the Local Planning Policy Area where indicated as permitted or discretionary land uses under the Zoning Table of LPS4.

Subject to LPS4, development and use of land shall be in accordance with the standards and requirements of this Policy.

There are separate guidelines for the Nannup Heritage Area (largely applying to the Nannup town centre).

LINKS TO LOCAL PLANNING SCHEME AND OTHER DOCUMENTS

This Policy relates to various requirements set out in LPS4, *State Planning Policy 3.7 Planning in Bushfire Prone Areas*, *State Planning Policy 7: Design of the Built Environment*, *State Planning Policy 7.3 Residential Design Codes – Volume 1 (R-Codes)*, *State Planning Policy 7.3 Residential Design Codes – Volume 2 – Apartments*, the *Building Code of Australia* and various Local Planning Policies. Where there is an inconsistency between this Policy and LPS4, then LPS4 prevails to the extent of such inconsistency.

EXEMPTIONS FROM DEVELOPMENT APPROVAL

Except where provided for within the provisions of the Residential Design Codes and subject to compliance with the relevant development requirements and standards of LPS4 and this Policy, there are no other exemptions or exclusions permitted under LPS4. Where incidental structures, proposed or an extended single house, or a proposed ancillary dwelling complies with this Policy, LPS4, the R-Codes and other local planning policies, then there is no requirement for gaining development approval from the Shire.

POLICY PROVISIONS

1. General

The building vernacular within the Nannup townsite, outside of the heritage area (town centre), represents predominantly timber framed and clad dwellings. The majority of dwellings in the townsite are single-storey on generous size blocks (especially compared to the metropolitan region). There are currently no three storey buildings in SCA2.

Materials vary between traditional timber and fibre cement weatherboards, through to brick and Colourbond. Roofing material does vary but corrugated iron dominates, mainly silver or pale in colour, and rooflines are generally traditional hipped/pitched although various newer buildings use skillion roofs. Most buildings include a verandah or contain generous eaves.

The colour of buildings varies although the use of cream or pale walls is commonly found.

Foundations vary from stumps to concrete slabs, although the latter is more common in newer buildings. The use of visually intrusive “cut and fill” and dominating retaining walls are relatively uncommon within SCA2.

In recent years, dwelling design has changed due to affordability considerations, changing demographics, architectural preferences, a greater range of building materials, a need to address energy rating and bushfire risks, and an increased value given to sustainable living. While such changes have enhanced parts of the townscape and have created greater residential comfort, there are also some instances of visually unappealing and undesirable residential character. Particular examples include dwellings that mimic outbuildings and barns, and designs which provide minimal windows or no verandahs.

The local government recognises that new dwellings within SCA2 should retain or enhance the amenity of the townscape. Preferably, residential designs should assist to retain or enhance the area's amenity through taking account of the area's values and its sense of place.

This Policy supports attractive and sustainable dwellings and development that strengthens local identity other than a few design options or where the design introduces ‘metropolitan’ building materials that are not sympathetic with the local context and character. The Policy does not prescribe particular architectural styles, nor inhibit creative design, but provides a framework to retain or enhance the character of the Nannup townscape. The local government seeks to ensure that dwellings and development do not detract from the amenity of the locality while achieving the aims and objectives of LPS4.

Where required, the local government will require the applicant to submit a site analysis plan.

2. Development and Design

A) Supported Building Designs and Building Materials

Various building designs are supported in SCA2 in the spirit of allowing architectural choice. To account for climatic conditions, energy efficiency, enhanced sustainability and local character, the local government has a preference for the following design elements to be incorporated into any dwelling:

- Orientated to promote passive solar design;
- Dwellings with a verandah or a generous eave on the northern side;
- Dwellings having a verandah on the front/primary setback which faces the street with eaves for most other sides of the dwelling;
- Roof pitch, for most of the dwelling, being 20 degrees or more (unless it is skillion design where the roof pitch can be less than 20 degrees);
- The use of weatherboard or similar products;
- Metal roofs;
- Are sympathetic to the existing landform, including split level designs and which minimise high retaining walls;
- Retain mature trees where possible;
- Landscaping provided it does not increase bushfire risks/BAL ratings;
- Built form should reflect a village like character consistent with the character of SCA2;
- Nil or low-key front fencing;
- Outbuildings appropriately located and scaled;
- The appearance of proposed built form when viewed from public streets and places shall be attractive and visually compatible with the values of SCA2;
- Building facades and walls that front a street, or are visible from the street or other public spaces, shall be detailed and articulated with design indentations/reliefs, architectural

features, colour schemes and active frontages, such as door and window openings, that reduce the visual impact of large blank wall spaces;

- The building design, detailing and finishing shall provide an appropriate scale to the street, add visual interest and enable differentiation between buildings when viewed from public streets; and
- Details set out in Attachment 2.

B) Non-supported Building Designs and Building Materials

The following dwelling designs are considered inconsistent to the character of SCA2:

- Tudor;
- Georgian;
- “A Frame”;
- Mediterranean;
- Barn-style shed/houses and shed-like structures being constructed for the purpose of human habitation;
- Flat roofs (less than 5%) – for the entire building;
- Zincolume walls (if more than 20% of the surface area on the front external wall); and
- Repurposed dwellings, including those constructed from sea containers and dongas unless re-clad and utilising other external design enhancements.

A Development Application for a single house or any dwelling, or for an extension, is required where the above designs are proposed. Accordingly, unless appropriately justified by the applicant (e.g. the proposed dwelling is screened from public view), the local government will recommend to Council that an application for the above designs be refused.

C) Dwelling Wall Materials and Colours

The local government supports materials and colours that do not detract from the amenity and the character of SCA2.

Generally, external building materials and finishes should be sympathetic to the existing landscape in design, colour and material.

Dwellings in SCA2 should not be constructed of materials or colours which, in the opinion of the local government, create a negative visual impact on the area’s amenity.

The use of metallic, or corrugated sheet cladding on the walls of dwellings will not be supported by local government unless they are incidental to the overall design or screened from public view.

The local government will consider small feature components, of metallic, or corrugated sheet cladding on the walls of residential dwellings, which are generally limited to 20% of the total external surface wall area.

Steel wall cladding should generally be pre-painted Colourbond custom orb type. The use of unpainted Zincolume wall sheeting is not supported unless used as an architectural feature on no more than 20% of the surface area of the front external wall. A Development Application is required where a dwelling proposes more than 20% of the surface area on the front external wall with unpainted Zincolume.

D) Roof Pitch and Design

Dwelling roofs should generally be consistent with the character of SCA2. Unless justified by the applicant and agreed to by the local government, roof pitch within the area should be at least 20 degrees (see Figure 1). Roofs to garages, carports and outbuildings should generally be consistent in roof pitch. Variations to this are required to be justified by the applicant.

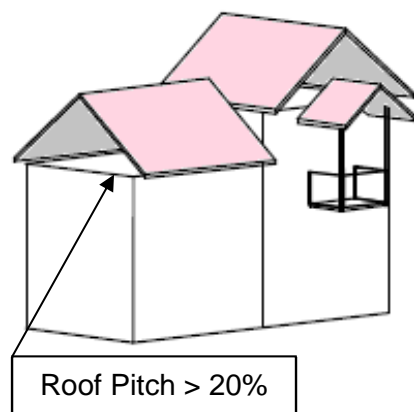


Figure 1: Recommended roof pitch

A shallower pitch may be acceptable for verandahs, canopies and small skillions unless agreed by the local government. Roofing should generally incorporate overhangs, eaves and where appropriate verandahs.

To achieve a consistency of roofs and to moderate the impact of direct solar load on external walls and windows, dwellings shall require a minimum:

- 480mm eaves on the northern orientation or the provision of verandahs. This does not apply where there are patios, minor roof nibs and entry porticos (or similar);
- Roof pitch of 20 degrees, other than for smaller components of the design or where a skillion design is proposed.

The entire skillion roof pitch can be less than 20 degrees.

A roof with a pitch of less than 5% will require the submission of a Development Application, unless it is for a skillion roof or is for an incidental component of the roof.

The roof design can utilise gable, hipped, skillion or butterfly design.

In keeping with the character of SCA2, metal roofs are preferred over tiled roofs. The metal roofs for dwellings and outbuildings can be Colourbond or Zinalume.

Other than extensions to existing dwellings, other habitable structures or outbuildings, a Development Application is required where a non-metal roof is proposed (including tiles and “green” roofs).

E) Garages and Carports

In the interest of enhancing streetscapes, garages and carports which face the street are to be consistent to the requirements set out in the R-Codes. The local government requires that garages do not occupy more than 50% of the total property frontage (see Figure 2). Where

applicable, the applicant is encouraged to review design options including the orientation of garages or using a carport instead of a garage.

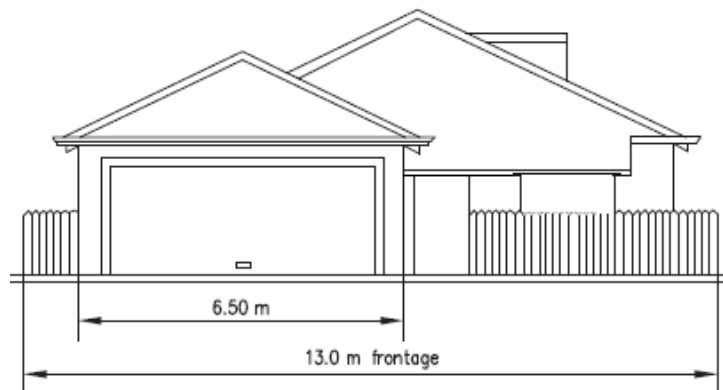


Figure 2: Proportion of garage frontage to width of property

F) Walls and Fences

To retain character, the local government prefers that properties in SCA2 do not have front fences. Where front fencing is provided, the local government supports the delineation of private front yards by hedging, plantings and other visually permeable landscaping provided a clear view of the dwelling from the street and vice versa is maintained.

All fencing shall complement/improve the amenity of SCA2 and contribute positively to the streetscape.

Only masonry, timber or decorative metal fencing of an open style shall be permitted for front fencing or for a side boundary where it is a corner lot.

Solid fencing forward of the building line shall have a maximum height of 1.2m and shall be constructed of masonry/brick or wrought iron finish.

The maximum height of fencing on the front boundary shall be 1.8m with the solid portion of fencing being restricted to a maximum height of 1.2m and the remainder of the fence being visually permeable.

A Development Application is required for front fences in SCA2 where the fence is above 1.2 metres. If the fence is above 1.2 metres, unless justified by the applicant, the fence should be visually permeable.

No Development Application is required for side or rear fences/walls in SCA2 provided they are below 1.8 metres and are located outside of flood prone land (Special Control Area 3).

To balance privacy and neighbourhood character, no Development Application is required for a fence/wall above 1.2 metres on the side boundary of corner lots provided it meets the R-Codes including unobstructed sight lines.

Additional fencing and wall provisions are subject to the R-Codes, the *Shire of Nannup Fencing Local Laws* and the *Dividing Fences Act 1961*.

G) Incidental Structures

No Development Application is required for incidental structures, generally associated with dwellings, as set out in the Supplemental Provisions of LPS4 and also within Part 7 Clause 61

of the Regulations provided it is consistent with this Policy, the R-Codes, LPS4 and other local planning policies.

No application for development approval is required for an outbuilding, rainwater tank or fencing where consistent with this Policy, the R-Codes and the property is outside of flood prone land.

H) Conversion of Outbuildings to Dwellings

The local government considers that the conversion of an outbuilding to a dwelling within SCA2 can result in substandard housing being produced and this form of housing is potentially detrimental to the amenity of SCA2.

Unless appropriately justified, the local government does not support an outbuilding being converted to a dwelling within SCA2.

A Development Application is required for the conversion from an outbuilding to a dwelling.

The local government will, amongst matters, consider:

- Whether the proposed dwelling is visibly intrusive from public roads and public places including whether adequate screening (vegetation etc.) exists;
- The impact of the proposed development in relation to adjoining or nearby properties; and
- Whether the external appearance of the proposed dwelling is adequate or what mitigating design improvements are proposed.

I) Barn-Style Dwellings

A Development Application is required for “barn-style” dwellings.

The local government will have regard to the proposed siting of the building, particularly its visibility from surrounding properties and roads, as well as the form of external cladding proposed to be used on the building.

Unless appropriately justified, the local government does not support dwellings which resemble sheds or “barn-style” dwellings in SCA2.

J) Transportable Buildings

No Development Application is required for new purpose built transportable dwellings, if not constructed of sea containers or dongas (or repurposed dwellings), if other planning considerations set out in this Policy (including roof pitch) and in LPS4 are met.

K) Repurposed Dwelling

A Development Application is required for a single house, extension to a single house or extension to other dwelling where the building, dwelling or structure consists of a skid mounted transportable unit (sea container) or a donga. Such a use is best described as a ‘repurposed dwelling’.

The local government considers that a repurposed dwelling can be detrimental to the amenity of SCA2.

The local government generally does not support a repurposed dwelling unless, amongst other matters:

- The exterior of the repurposed dwelling is in a state of good repair; and
- Unless screened from nearby roads, other public places and adjoining properties the local government will require the repurposed dwelling to be re-clad or treated in such a way to make it visually more compatible with the amenity of the area, and the dwelling/habitable building to incorporate measures such as verandahs or other architectural/design features to improve the visible appearance of the structure.

Should development approval for a repurposed dwelling be granted, the following conditions may apply:

- A specific time period to which development approval applies and the requirements for removal of structures which are intended to be temporary;
- External repainting and/or re-cladding of the building;
- The construction and/or replacement of verandahs;
- Modification of roof design if considered necessary to ensure the structure is consistent with surrounding dwellings;
- Require landscaping to be established within a specified time and thereafter maintained; and
- Require the applicant or owner to provide a bond or unconditional bank guarantee to the local government as surety for the completion of the transportable building to a standard or presentation acceptable to the local government within a specified time frame, usually within 6 months. A bond will only be returned upon the completion of the necessary works to the local government's satisfaction.

L) Second-hand Dwelling

A Development Application is required for a second-hand dwelling.

The local government will consider second-hand dwellings provided they are comprised of high-quality design features suitable to SCA2, as determined by the local government.

The local government will not approve the use of a second-hand dwelling or other building containing asbestos.

Should development approval for a second-hand dwelling be granted, it may include the following conditions:

- Certification from a practicing structural engineer that the design and condition of the building is suitable for relocation and re-use;
- All asbestos is removed prior to relocation;
- Require landscaping and to be established within a specified time and thereafter maintained; and
- Require the applicant or owner to provide a bond or unconditional bank guarantee to the local government as assurance for the completion of the relocated dwelling to a standard or presentation acceptable to the local government within a specified time frame, usually within 6 months. A bond will only be returned upon the completion of the necessary works to the local government's satisfaction.

Where a relocated dwelling is not completed to an acceptable standard within the specified time, the local government may either:

- Require the building to be removed, pulled down, altered or otherwise made to comply with the development approval and Building Permit; or

- Undertake the works necessary to complete or rectify any outstanding condition/s and/or items listed on the Schedule of Works. If this occurs, a portion or the entire bond may be forfeited.

M) Outbuildings

The local government will have regard to matters including the R-Codes, LPS4 and this Policy.

N) Retaining Walls

The local government seeks to encourage designs that work with the topography rather than creating large retaining walls and associated filling.

The local government will require a Development Application for retaining walls that are over 0.9 metres in height.

O) Solar Collectors

The local government will require a Development Application for solar collectors which are inconsistent with the R-Codes or where the structure is on the Heritage List and the solar collectors are visible from public places.

3. PROCEDURAL CONSIDERATIONS

A) No development approval required in certain circumstances

No development approval is required for the erection or extension of a single house, outbuilding or retaining wall that complies with the deemed-to-comply requirements of the R-Codes, in accordance with clause 61(4)(c) of the Deemed Provisions from the Regulations, where consistent with this Policy and where consistent with LPS4.

Attachment 3 summarises when a Development Application is required and not required. Further details are outlined in this Policy, in LPS4 and in the Regulations.

Note - a Building Permit is generally required to be submitted and approved as per the Building Regulations 2012.

B) Where the deemed-to-comply requirements are not met

As per the R-Codes, where applications do not meet the Deemed-to-Comply requirements, development approval is required. The Development Application will be assessed by the local government having regard to the relevant design principles of the R-Codes.

C) Applications Requiring Variation of Policy

Where an Application for Development Approval requires a variation to the deemed-to-comply requirements, the application will be assessed against the performance criteria of the R-Codes plus against this Policy. The onus is on the applicant to demonstrate to the satisfaction of the local government that the proposal complies with the design principles of the R-Codes and/or the objections and provisions of this Policy.

The provisions of this Policy may be varied where at least one of the following applies:

- Specific requirements have been determined for a particular lot through a Local Development Plan or Structure Plan pursuant to LPS4;

- The physical dimension of the lot, that is its depth or width, prevents reasonable compliance with this policy in respect of rear setbacks; or
- The topography of the land or of the surrounding land does not make the required provisions practicable.

Where an application for development approval is inconsistent with the R-Codes and/or this Policy, the applicant is to justify how it addresses the objectives of SCA2.

D) Variation of Residential Design Code, LPS4 and this Policy

A Development Application for a dwelling, extension to a dwelling or other incidental structure is required where it necessitates the exercise of discretion by the local government to vary the R-Codes, to vary LPS4 or to vary this Policy.

E) Development Impact Statement and Other Supporting Information

Where an application proposes a variation to one or more deemed-to-comply requirements and/or the application is considered to have a significant impact on the existing conditions of a locality, the local government may require the applicant to prepare or arrange a Development Impact Statement to be submitted with the application for development approval.

Where required, the Development Impact Statement is to be undertaken to the satisfaction of the local government.

The local government may require supporting information to make a proper development assessment of any proposed variation as part of a development application. This could include the provision of matters including:

- Site analysis plan showing the natural and finished ground levels, the location of existing and proposed buildings on the premises, relationship to adjoining and surrounding uses, and the nature of existing and likely development in the vicinity of the subject lot/development site;
- Materials and colour palette (if required);
- Overshadowing diagram; and
- Any other relevant information requested by the local government.

F) Applications Consistent with Policy

Where an Application for Development Approval is required and where the application is consistent with this Policy and any other requirement of LPS4 or relevant Local Planning Policy, the development approval will be granted under delegated authority to the Chief Executive Officer where no substantive objections have been received during advertising.

Where a substantive objection has been lodged, the application is to be determined at an Ordinary Meeting of Council.

4. ADMINISTRATION

A) Matters to be Addressed Prior to Formally Lodging the Application

Proponents are encouraged to discuss proposals that seek to vary Policy requirements with the Shire administration early in the planning process and prior to the formal lodgement of any Development Application.

B) Application Requirements

Development Applications are to include the following:

- A completed Form of Application for Development Approval;
- A site plan showing the location of all existing and proposed structures, and the location of any easements;
- A floor plan/s and elevations;
- A schedule or details of external materials and colours to be used; and
- Payment of the local government Development Application fee.

Subject to the proposed location and the scale of the proposed dwelling, the local government may also require the applicant to provide:

- Site analysis plan;
- Development impact statement;
- Detailed contour information from a licenced surveyor;
- Cross sections showing the extent of cut and fill;
- Written information relating to the reasons why any standard requirements of this Policy should be varied; and
- Any other plan or information that the local government may reasonably require to enable the application to be determined.

Should a Development Approval be issued, it will also be necessary for the proponent to submit a Building Permit Application (which gains necessary approval) prior to undertaking construction.

C) Consultation with Landowners and Stakeholders

The local government will consult with adjoining/nearby landowners and other stakeholders as required by LPS4, the Regulations and as determined by the local government. The local government may also consult where an application does not comply with this Policy and/or it does not comply with the deemed-to-comply requirements of the R-Codes.

D) Assessing the Development Application

The local government will have due regard to matters including the following in assessing Development Applications:

- Clause 67 in Schedule 2 of the Regulations;
- The character, values and amenity of SCA2;
- Building form;
- Roof form;
- Standard of construction;
- Materials and details;
- Alterations and additions;
- Retaining walls, excavation and fill;
- Fencing;
- Open space, landscaping and tree retention;
- Bushfire risk;
- Incidental structures;
- Written comments from affected stakeholders; and

- Any other circumstance and factor affecting the application in the opinion of the local government.

Should a Development Application for a dwelling or other structure not comply with requirements of this Policy and matters are not able to be addressed through conditions of approval, the application will be considered by Council.

Where objections are received and the objections are not able to be adequately dealt with through conditions of approval, the application will be referred to Council for determination.

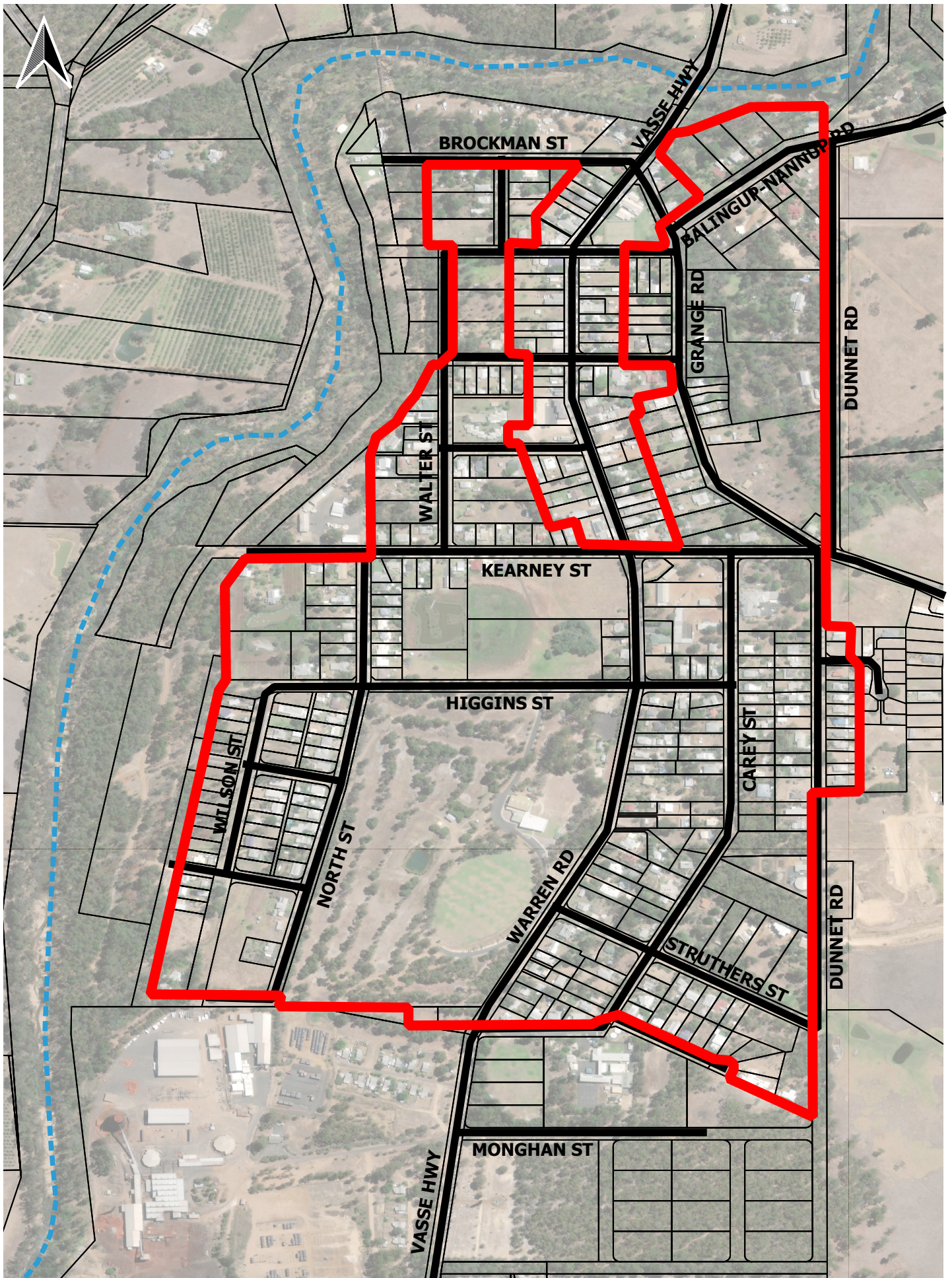
The Council may grant its consent with or without conditions or refuse its consent. The Council may refuse a Development Application where the application is inconsistent with this Policy, LPS4, other Local Planning Policies, the R-Codes and other State Planning Policies, or be based on information provided by the applicant, or be based on information set out in any submission received.

Related Policies:	<i>LPP 1 Cut & Fill and Retaining Walls LPP 3 Sea Containers LPP 11 Development in Flood Risk Areas LPP 13 Car Parking and Vehicular Access LPP 19 Heritage Conservation LPP 22 Outbuildings</i>
Related Procedures/ Documents:	<i>Planning and Development (Local Planning Schemes) Regulations 2015 State Planning Policy 3.7 Planning in Bushfire Prone Areas State Planning Policy 7.0 Design of the Built Environment State Planning Policy 7.3 Residential Design Codes – Volume 1 and Volume 2</i>
Delegation	Chief Executive Officer
Adopted:	OM 24th March 2022
Reviewed:	

Attachment 1 – Extract from Local Planning Scheme No.3

Table 11
Special control areas in Scheme area

Name of area	Purpose	Objectives	Additional provisions
SCA2 – Development Control Area - Nannup Townsite Character	To regulate residential design to protect and enhance Nannup's historic built character.	<ul style="list-style-type: none"> (a) To retain Nannup's unique character and sense of place. (b) To provide a high level of amenity. (c) To create an attractive, desirable and responsive environment. (d) To require development to address the garden village and non-metropolitan context, topography, landscape values and the area's character and heritage. 	<ol style="list-style-type: none"> 1. The local government will have due regard to the local planning policy relating to the Nannup Townsite Character Area in determining development applications. This includes - <ul style="list-style-type: none"> (a) building form; (b) roof form; (c) standard of construction; (d) materials and details; (e) alterations and additions; (f) retaining walls, excavation and fill; (g) fencing; (h) open space, landscaping and tree retention; (i) bushfire risk; and (j) incidental structures. 2. Development approval within the SCA is only required in accordance with Schedule A - Supplemental provision 61(1)(n) of this Scheme. 3. Where an application for development approval is inconsistent with the local planning policy relating to the Nannup Townsite Character Area, the application is to justify how it addresses the objectives of SCA2.



SCA2 - Development Control Area - Nannup Townsite Character Area

Attachment 2 – Encouraged Residential Development and Design Guidelines

Overview

Unless separately covered in the main part of *Local Planning Policy No. 6 Nannup Townsite Character Area Design Guidelines*, the following does not form part of *Local Planning Policy No. 6 Nannup Townsite Character Area Design Guidelines*. Instead, the following are guidelines that are supported by the local government to further enhance the character of the Nannup Townsite Character Area and to deliver increased sustainability.

Site Analysis Plan

Before positioning a dwelling or undertaking proposals for other habitable structures, a site analysis plan is recommended to address climatic considerations, to reduce the potential for risk and damage of fire and flood, minimise visual impacts from major roads/key tourist routes and address stormwater. The siting and design of a dwelling or other habitable structures should amongst other matters:

- Maximise northerly light into living areas and provide for solar access and warmth;
- Provide adequate cross ventilation from summer breezes (particularly from the south-westerly direction);
- Protect from summer afternoon sun;
- Consider the lot's topography and views;
- Be compatible with front setbacks of adjoining properties;
- Address the primary street and have a positive civic presence to complement or enhance existing street aesthetics;
- Have clearly defined main entrances (using paths, lighting and porticos);
- Minimise overlooking and overshadowing of adjoining properties (where possible and practical);
- Account for fire risk and low fuel areas; and
- Address flooding risk.

Other details are set out in the R-Codes.

Orientation and Major Openings

Dwellings should front the street and have at least one major opening from a habitable room to overlook the public street or as relevant a common access driveway.

Verandahs and Eaves

The use of verandahs and wide eave overhangs to shade walls and provide sheltered outdoor living areas are encouraged. Verandahs are an attractive design feature that provide protection from the weather especially rain and summer sun. The local government supports verandahs on dwellings throughout the area to provide comfort and enhance streetscapes. In keeping with the country town and rural nature of the area, dwellings should generally provide verandahs, porches, porticos or other architectural relief on the elevations that are viewed from the street.

A verandah, portico or covered entry in keeping with the overall house design, should generally be a minimum length of 25% of the front facade of the house.

Dwelling roofs within the area should have eaves that are a minimum of 550mm in width to assist in enhancing the visual amenity as set out in Figure A.

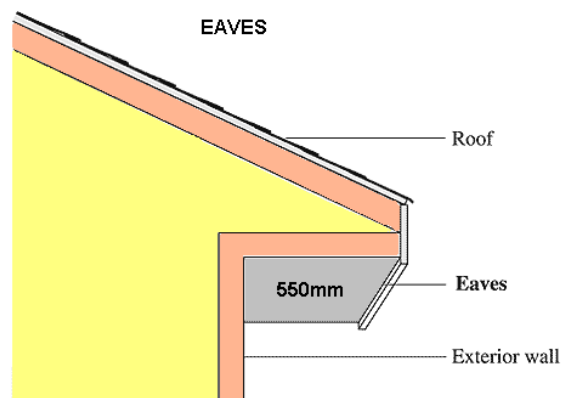


Figure A: Required width of eaves

Preferred External Building Materials

Preferred materials should generally be made of:

- Brick;
- Rendered cement;
- Stone;
- A lightweight material with rendered effect;
- Painted weatherboards;
- Stucco (plaster or cement either fine or coarse); and
- Tilt-up (construction technique using pre-cast concrete to build walls) which is painted or rendered.

The local government will also consider materials including:

- Reverse cladding with internal brickwork;
- Fibre cement;
- Cedar or timber weatherboard;
- Fibre cement, mini orb, Colourbond;
- Rammed earth; and
- Combination of colour rendered brickwork, limestone, stone and cladding products.

The use of Zinalume or light coloured Colourbond roof sheeting is generally supported. However, care must be taken to ensure the location of the house and the roof pitch used does not produce a glare nuisance to surrounding properties or passing traffic.

Energy Efficiency

The local government encourages new dwellings and major additions to dwellings that maximise energy efficiency and reduce the demand on energy sources for heating and cooling. Various strategies to maximise energy efficiency in a dwelling include:

- Location of living areas on the north elevation;
- Location of non-habitable rooms on the eastern and western elevations, such as bathrooms, laundries and carports/garages;
- Adequate insulation in walls, floor and roof cavities;
- Ventilation control;
- Appropriate room zoning;

- Use of eaves, verandahs and shading devices;
- Use of solar hot water systems;
- Use of energy efficient appliances and lighting; and
- Location of refrigerators and freezers away from external walls and hot areas.

Water Conservation

The local government encourages water conservation. Various strategies to minimise water use include:

- Rainwater tanks which are of an appropriate size, given this has a range of benefits including with stormwater management. Water from rainwater tanks should be fit for purpose;
- AAA rating of all shower heads and tap ware;
- Use of a grey water reuse system approved by the Western Australian Department of Health;
- Lawn areas to be minimal;
- Use of lawn varieties that require lower water usage;
- Use of low-flow trickle irrigation, such as drippers, mulching and soil conditioners; and
- Use of indigenous plant species and other drought-resistant trees and shrubs.

Attachment 3 - Summary of when a Development Application is required

Building Type	Development Application Required?
Aged or Dependent Persons Dwelling	Yes
Ancillary Dwelling	Yes
Grouped Dwelling	Yes
Multiple Dwelling	Yes
Residential Building	Yes
Single House, Extension to a Single House, or Extension of Other Dwellings which are:	
1. Proposing a variation to the Residential Design Codes or Local Planning Scheme No. 4 (LPS4)	Yes
2. Outside of a designated building envelope or within a designated building exclusion area	Yes
3. Within a flood prone area	Yes
4. A transportable building which is:	
a) A new purpose built dwelling (not constructed from sea containers / dongas) if other planning considerations are met.	No
b) Any building or structure which is not a new purpose built dwelling.	Yes
5. A second-hand relocated dwelling or building	Yes
6. Within a Heritage Area	Yes
7. On the State Heritage Register or Heritage List of LPS4	Yes
8. Inconsistent with Local Planning Policies relating to development and design:	
a) Tudor/Georgian/"A" Frame/Mediterranean	Yes
b) Barn-style dwelling	Yes
c) Flat Roofs (less than 5%)	Yes
d) Zinacume Walls (if more than 20% of surface area on front external wall)	Yes
e) Zinacume Roofs	No
f) Conversion of an outbuilding to a dwelling	Yes
Garages and Carports	No, subject to consistency with the R-Codes and LPS4 and not within flood prone land.

Walls & Fencing: 1. Front fencing 2. Side and rear fencing	No, subject to consistency with the R-Codes and LPS4 No
Incidental Structures	No, subject to consistency with the R-Codes and LPS4 and not within flood prone land.